



## Department of Planning and Zoning

Town of Vienna

127 Center Street S

Vienna, Virginia 22180

Phone: 703-255-6341 | Email: DPZ@viennava.gov

Hours: Monday – Friday, 8:00 am - 4:30 pm

### Town of Vienna Large-Scale Residential (over 2,500 sf of land disturbance) Infill Lot Plan Set Checklist

*This checklist is meant to serve as a guideline for infill lot plans submitted within the Town of Vienna. Compliance with this checklist does not guarantee approval. More information may be requested in addition to information requested in this checklist. Applicants are responsible for ensuring they are compliant with all relevant Town, County, and State requirements.*

*Last Revised 5-7-2020*

General Plan Requirements		Complied (Yes/No)
1	Fairfax County building permit numbers.	
2	All plans and Plats in the Town of Vienna shall meet industry standards for drafting practices. The plan needs to meet at a minimum the drafting standards per part 641 of the National Engineering Handbook.	
3	All sheets signed and sealed by a licensed professional engineer or other licensed professional.	
4	All plan sheets shall include North Arrow, Graphic Scale, and a note referencing the Virginia North State Plane Coordinate system, Zone 5551, FIPS zone 4501; NAD 83 datum.	
5	Property owner(s) name(s), address, telephone, and e-mail address on cover sheet of plan set.	
6	Names, addresses, telephone numbers, email addresses, and seals of all professionals participating in the development application process on cover sheet of plan set, including the architect, builder, designer, etc..	
7	Date of first submission and any subsequent resubmissions in title block on all sheets.	
8	A transmittal letter addressing all staff comments and revisions should accompany all plan resubmissions.	
9	Overall project narrative.	
10	All changes and revisions bubbled on plan.	
11	Provide all abutting or adjacent owner and parcel information on all applicable sheets.	
12	Existing road network including street name, right-of-way width, category, and shown on all relevant plan sheets.	
13	If road right-of way is variable in width, provide centerline of road with dimensions to the principal structure and property line. (Note: Setbacks and building restrictions are from the centerline on variable width right-of-ways.)	
14	Provide 3" x 4" blank area at the bottom right corner of all sheets to accommodate Town of Vienna approval stamp. This area must be in the same location on each sheet.	
15	Include Town of Vienna General Notes on cover sheet of plan.	
16	Existing address range of subject site.	

# Town of Vienna | Infill Lot Plan Set Checklist

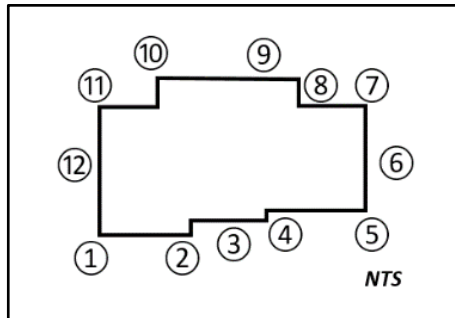
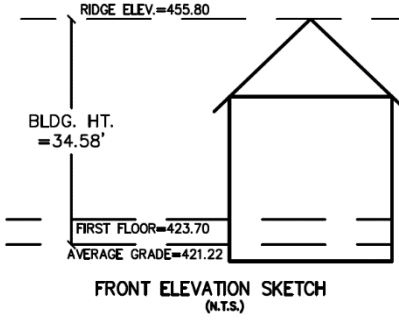
17	Tax map, group, and parcel number(s) of site.																			
18	Town Project File number the cover page. A project number will be assigned by staff after the plan is accepted for review.																			
19	Sheet index for all sheets included in the submittal set.																			
20	Existing structures and buildings, including the exact location, description, and dimensions.																			
21	Information from Existing Conditions Plan shown lightly in grayscale with features to be removed noted.																			
22	Location of any proposed structures, poles, fire hydrants, retaining walls, pump islands, doorways, window wells, guy wires, or other structures.																			
23	Location and dimensions of roadways, vehicle entrances/exits, and sidewalks.																			
24	Location, width, and materials of all proposed sidewalks, trails, and paths.																			
25	All proposed easements, including dimensions and type (e.g., proposed access, proposed public utility, etc.)																			
26	Location, height (BW/TW at multiple points), and exterior material detail for all proposed retaining and decorative walls.																			
27	Location, height, and exterior material detail for all proposed fences.																			
28	Complete DEQ Checklist per site plan checklist.																			
29	Flow arrows provided for each storm pipe.																			
30	All Existing Stormwater Conveyances including stream name and VDEQ 303(d) classifications shown on all relevant plan sheets.																			
31	Where applicable, water resource protection and management areas, as defined and outlined in Town Code Chapter 18, Article 21.1, shall be clearly delineated and labeled on all relevant plan sheets.																			
32	Where applicable, the Special Flood Hazard Area boundary and base elevation per the latest FEMA Flood Insurance Rate Map shall be clearly delineated and labeled on all relevant plan sheets. Where the SFHA is Approximate Zone A the FEMA 265 Manual for Base Flood Elevations in Approximate Zone A will be used to establish the base flood elevations.																			
33	Tree protection (existing & required) areas, floodway & floodplain, and other protected areas shall be clearly delineated and labeled on all relevant plan sheets, including existing conditions.																			
34	<p>Soil report requirement indicated if construction is proposed in class III or IVA soils or a dam is proposed requiring a report per Fairfax County PFM Plate 48-6.</p> <p style="text-align: center;"><b>SOIL INFORMATION</b></p> <table><tr><th>SOIL #</th><th>SOIL NAME</th><th>PROBLEM CLASS</th><th>FOUNDATION SUPPORT</th><th>DRAINAGE</th><th>EROSION POTENTIAL</th></tr><tr><td>105B</td><td>WHEATON-GLENELG COMPLEX</td><td>IVB</td><td>GOOD</td><td>GOOD</td><td>HIGH</td></tr><tr><td>107B</td><td>WHEATON-MEADOWVILLE COMPLEX</td><td>IVB</td><td>FAIR</td><td>MARGINAL</td><td>MEDIUM</td></tr></table>	SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL	105B	WHEATON-GLENELG COMPLEX	IVB	GOOD	GOOD	HIGH	107B	WHEATON-MEADOWVILLE COMPLEX	IVB	FAIR	MARGINAL	MEDIUM	
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35	Limited soil report requirement is indicated if construction is proposed in a IVB soil. Limited report included in the 1 <sup>st</sup> submission plan.																			
36	Location and label of all stormwater management facilities (i.e. Bioretention, pervious pavers, detention pond).																			
37	Existing natural site features, including but not limited to tree canopy, watercourses, water bodies, conveyances, springs and channels.																			
38	All environment boundaries shown and labeled (RPA, RMA, Floodplain etc.)																			
39	Curb ramp width matches connecting sidewalk/trail.																			
40	Curb ramp spot elevations, dimensions, and slopes to show the ramp meets minimum ADA requirements.																			
41	Driveway apron spot elevations, dimensions, and slope to show the apron meets minimum ADA requirements.																			

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42	Utilities both above and below ground and existing roadway infrastructure, including sidewalk, curb and gutter, and edge of pavement.	
43	Type, size, location and dimensions of all existing utilities, including non-Town utilities, such as but not limited to, electric, telephone, gas and C.A.T.V., graphically shown on plan view with legend.	
44	All dimensions shown in feet and decimals of a foot to the closest 0.01 of a foot; all bearings in degrees, minutes and the nearest ten seconds.	
45	Plans shall have a maximum scale of 1" = 30' and extend a minimum 50' past property/project limits unless otherwise indicated. Appropriate match lines shall be included.	
46	Plans shall have maximum vertical scale of 1"=5'.	
47	Vicinity, Topo and Soils Map shown to scale 1"=250'. Include North Arrow and Graphic Scale. Show Town boundary if within ¼ mile of the site.	
48	Include all existing easements, including labels, dimensions and deed book and page.	
49	Existing topographic information having a contour intervals of 1 foot or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation.	
50	Locations, square footages, floor areas, uses, building height, and exterior dimensions of all proposed buildings and habitable structures.	
51	The location, type and size of all existing trees. If the property is densely wooded in whole or in part, the limits of such densely wooded areas may be shown on the plan in lieu of locating individual trees within these areas.	
52	Show all doors openings with black triangle.	

**Zoning Compliance**

53	<p>A tabulation listing the site plan specifications as they compare to minimum zoning requirements.</p> <p align="center"><b><u>SITE ANALYSIS</u></b></p> <table border="1"> <thead> <tr> <th>DESCRIPTION</th><th>REQUIRED/ALLOWED</th><th>PROVIDED/EXISTING</th></tr> </thead> <tbody> <tr> <td>ZONE</td><td>R5-16</td><td>R5-16</td></tr> <tr> <td>LOT AREA</td><td>16,000 SF</td><td>16,000 SF</td></tr> <tr> <td>MAX. LOT COVERAGE</td><td>25%</td><td>24.5%</td></tr> <tr> <td>SETBACK</td><td></td><td></td></tr> <tr> <td>FRONT</td><td>35 FT</td><td>35.52 FT</td></tr> <tr> <td>SIDE</td><td>15/25 FT</td><td>19.13 FT</td></tr> <tr> <td>REAR</td><td>35 FT</td><td>35.42 FT</td></tr> <tr> <td>LOT WIDTH</td><td>50/65/90</td><td>132.24/120.81/113.67</td></tr> <tr> <td>BUILDING HEIGHT</td><td>35 FT</td><td>34.74 FT</td></tr> <tr> <td>DECK COVERAGE</td><td>5% OF LOT AREA OR 800 SF</td><td>0.0%</td></tr> </tbody> </table>	DESCRIPTION	REQUIRED/ALLOWED	PROVIDED/EXISTING	ZONE	R5-16	R5-16	LOT AREA	16,000 SF	16,000 SF	MAX. LOT COVERAGE	25%	24.5%	SETBACK			FRONT	35 FT	35.52 FT	SIDE	15/25 FT	19.13 FT	REAR	35 FT	35.42 FT	LOT WIDTH	50/65/90	132.24/120.81/113.67	BUILDING HEIGHT	35 FT	34.74 FT	DECK COVERAGE	5% OF LOT AREA OR 800 SF	0.0%	
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	<p>Lot deviation chart showing the footprint of the structure with appropriate points of the existing, pre-construction grade and proposed post-construction grade, and difference.</p> <p><b>LOT DEVIATION TABLE</b></p> <table> <tr> <th>LOCATION</th><th>EXISTING ELEVATION</th><th>PROPOSED ELEVATION</th><th>DEVIATION</th></tr> <tr><td>1</td><td>406.3</td><td>406.2</td><td>0.1</td></tr> <tr><td>2</td><td>408.3</td><td>406.2</td><td>2.1</td></tr> <tr><td>3</td><td>405.3</td><td>406.7</td><td>1.4</td></tr> <tr><td>4</td><td>403.2</td><td>406.0</td><td>2.8</td></tr> <tr><td>5</td><td>401.7</td><td>402.0</td><td>0.3</td></tr> <tr><td>6</td><td>399.7</td><td>399.3</td><td>0.4</td></tr> <tr><td>7</td><td>399.0</td><td>399.0</td><td>0.0</td></tr> <tr><td>8</td><td>399.0</td><td>399.4</td><td>0.4</td></tr> <tr><td>9</td><td>399.7</td><td>402.3</td><td>2.6</td></tr> <tr><td>10</td><td>399.8</td><td>402.3</td><td>2.5</td></tr> <tr><td>11</td><td>400.2</td><td>403.0</td><td>2.8</td></tr> <tr><td>12</td><td>402.5</td><td>404.0</td><td>1.5</td></tr> </table> 	LOCATION	EXISTING ELEVATION	PROPOSED ELEVATION	DEVIATION	1	406.3	406.2	0.1	2	408.3	406.2	2.1	3	405.3	406.7	1.4	4	403.2	406.0	2.8	5	401.7	402.0	0.3	6	399.7	399.3	0.4	7	399.0	399.0	0.0	8	399.0	399.4	0.4	9	399.7	402.3	2.6	10	399.8	402.3	2.5	11	400.2	403.0	2.8	12	402.5	404.0	1.5					
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56	If garage encroachment is proposed, show height of garage at set back line from average front grade.																																																									
57	Height computations for all proposed accessory structures demonstrated per Town of Vienna Code.																																																									
58	Labels on all architectural features, encroachments and cantilevered elements showing the width and depth of the feature. All features must match the architectural plan set.																																																									
59	<p>Proposed lot coverage chart with all site features itemized and totaled, showing the percentage and square footage of lot coverage.</p> <table> <tr> <th colspan="3">LOT COVERAGE</th></tr> <tr> <td>HOUSE+GAR.</td><td>3200</td><td>SF</td></tr> <tr> <td>DRIVEWAY</td><td>1,880</td><td>SF</td></tr> <tr> <td>PORCH (rear)</td><td>321</td><td>SF</td></tr> <tr> <td>PORCH (front)</td><td>295</td><td>SF</td></tr> <tr> <td>STOOPS</td><td>510</td><td>SF</td></tr> <tr> <td>TOTAL</td><td>6206</td><td>SF</td></tr> <tr> <td>LOT AREA</td><td>30,198</td><td>SF</td></tr> <tr> <td>COVERAGE</td><td>20.6</td><td>%</td></tr> </table>	LOT COVERAGE			HOUSE+GAR.	3200	SF	DRIVEWAY	1,880	SF	PORCH (rear)	321	SF	PORCH (front)	295	SF	STOOPS	510	SF	TOTAL	6206	SF	LOT AREA	30,198	SF	COVERAGE	20.6	%																														
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60	Deck coverage calculation showing percentage of total lot area covered by deck.	
61	Basement calculation illustrating the basement will not count as a story.	
62	Ties between all encroachments and the closest property line.	
63	When pools are proposed, the following shall be demonstrated within the grading plan: <ul style="list-style-type: none"> <li>• The area and material of all pool patios and decking;</li> <li>• The area of the pool patio, and a 5' buffer of area excluded from the lot coverage calculation;</li> <li>• The percentage of rear yard covered by the pool area;</li> <li>• Location and screening of pool equipment;</li> <li>• Location of fencing or note describing pool cover.</li> </ul>	
64	Reference the Architectural permit plan set and date used to set house footprint and calculate building height on site plan	
65	Show garage, first floor and basement floor elevations.	
66	Show off-street parking count, and turning movements for side load garages.	
67	Minimum setback lines (based on existing zoning district classifications).	
68	If applicable, show deed restricted Building Restriction Lines.	
<b>Grading and Drainage Plan</b>		
69	Proposed contour intervals of 1 foot or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation.	
70	Existing topographic information having a contour intervals of 1 foot or less, showing all area covered by the site including 50 feet overlap of offsite area, including structures, driveways and fences. More information may be required for sites with minimal grade deviation. Existing information should be lightly shown in grayscale.	
71	Locations, square footages, floor areas, uses, building height, and exterior dimensions of all proposed buildings and habitable structures.	
72	Location of any proposed poles, fire hydrants, retaining walls, pump islands, signs, doorways, window wells, guy wires, or other structures.	
73	Location of retaining walls with elevations proposed for the top and bottom of walls.	
74	All natural and manmade open channels and swales.	
75	Location and label of all stormwater management facilities (i.e. Bioretention, pervious pavers, detention pond).	
76	All proposed easements, including dimensions and type (e.g., proposed access, proposed public utility, etc.)	
77	RPA to be delineated 100 feet from top of bank based on field run survey data. All environment boundaries shown and labeled ( RPA, RMA, Floodplain etc.)	
78	Drainage shall honor natural divides for both concentrated and non-concentrated stormwater runoff leaving the site, unless a written justification is provided and approved by the Director.	
79	Service lines shown on plans.	
80	No man-made structures such as building or shed or over-story trees are placed within a utility easement.	
81	Load plain must be analyzed where foundations are place within 15 feet of a utility.	
82	Limits of Disturbance and protected areas shall be clearly delineated.	
<b>Stormwater Management Plan</b>		
83	Complete DEQ Checklist	
84	Computations demonstrate compliance with water quality control requirements, including VRRM spreadsheet	

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85	A narrative summarizing how water quality control requirements are being provided for the site.	
86	Statement of maintenance responsibility for the BMP (Public or Private).	
87	BMP designed in accordance with all provision stated in the clearing house documents for said BMP	
88	A narrative summarizing how water quantity requirements are being met for channel protection and flood protection.	
89	Water Quantity requirements are being met for localized flood including when the site directly outfalls into a floodplain.	
90	For manufactured facilities, a letter on the plan stating the facility has been design in accordance with manufacture's specification and requirements.	
91	Information on the type and location of stormwater discharges; information on the features to which stormwater is being discharged including surface waters, and the predevelopment and post-development drainage areas.	
92	A general description of the proposed stormwater management facilities and the mechanism through which the facilities will be operated and maintained after construction is complete.	
93	A stormwater management facility maintenance agreement as required in <a href="#">Section 23-18</a> of the Town Code.	
94	Information on the proposed stormwater management facilities including: <ul style="list-style-type: none"> <li>• The type of facilities;</li> <li>• Location, including geographic coordinates;</li> <li>• Acres treated; and</li> <li>• The surface waters into which the facility will discharge.</li> </ul>	
95	Hydrologic and hydraulic computations, including runoff characteristics.	
96	Documentation and calculations verifying compliance with the water quality and quantity requirements of <a href="#">Section 23-17</a> of the Town Code.	
97	A map or maps of the site that depicts the topography of the site and includes: <ul style="list-style-type: none"> <li>• All contributing drainage areas;</li> <li>• Existing streams, ponds, culverts, ditches, wetlands, other water bodies, and floodplains;</li> <li>• Soil types, forest cover, and other vegetative areas;</li> <li>• Current land use including existing structures, roads, and locations of known utilities and easements;</li> <li>• Sufficient information on adjoining parcels to assess the impacts of stormwater from the site on these parcels;</li> <li>• The limits of clearing and grading, and the proposed drainage patterns on the site;</li> <li>• Proposed buildings, roads, parking areas, utilities, and stormwater management facilities; and</li> <li>• Proposed land use with tabulation of the percentage of surface area to be adapted to various uses, including but not limited to planned locations of utilities, roads, and easements.</li> </ul>	
98	All other information as may be required by Article 3 of Chapter 23 of the Town Code and the Code of Virginia.	
99	A Water Quality Impact Analysis (WQIA) shall be provided where the site contains RPA and/or RMA. The study shall meet all mitigation for re-development within the RPA.	
<b>Erosion and Sediment Control Plans</b>		
100	Plan has been prepared in accordance with the latest DEQ standards and regulations.	

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101	Limits of clearing and grading shown and includes all work to be done (offsite, utility extensions, outfalls, etc.) and matches between grading, erosion and sediment control, landscape plans.	
102	Phase 1 initial limits of clearing to install controls needed with minimal clearance is shown and described in E&S phase I narrative.	
103	Region specific temporary and permanent seeding tables provided.	
104	Drainage divides shown for E&S measures that have drainage area limitations. Drainage areas do not exceed ¼ ac/100 ft for SF, 1 acre for IP, 5 acres for DD and 3 acres for ST. Drainage divides for SSF are only required when it needs to be demonstrated that concentrated flow to SSF does not exceed 5 cfs.	
<b>Tree Preservation and Landscape Plan</b>		
105	Name of firm or individual preparing the plan.	
106	Scaled rendering, using current information from the site development plan, which depicts existing and proposed grades. Existing information should be lightly shown in grayscale.	
107	Graphic legend depicting existing vegetation and proposed conditions.	
108	Location of all improvements shown on the site development plan.	
109	Location of all existing and proposed utilities and sewers.	
110	Location of all proposed sediment control devices.	
111	Graphic depiction of all existing trees including location, types, and size. All deciduous and evergreen trees of 4" diameter at breast height and greater and all multi-stemmed trees 8' in height or taller must be shown. All Town/public right-of-way trees of 1.5" caliper and greater must be shown.	
112	Graphic depiction of the accurate drip line canopy of all existing trees showing the extent of the critical root zone.	
113	Clear designation and tabulation of all existing trees to be saved or preserved, removed, or impacted as well as any additional tree plantings required to meet the 20% lot coverage requirement.	
114	Proposed tree protection and preservation measures for all saved and impacted trees depicting, if necessary, root-pruning lines, protective devices, and procedures, including but not limited to fencing, boring, aeration, temporary special paving areas, retaining walls, etc.	
115	All invasive plants and vines within tree-save areas shall be controlled and removed from trees. This shall be noted on a tree preservation sheet.	
116	Tree protection practices and new plantings shall be in compliance with Town of Vienna standards.	
117	Certification signed and sealed by a landscape architect licensed in the Commonwealth of Virginia or ISA-certified arborist.	
<b>Architectural Plan</b>		
118	Complete set of floor plans showing all projections and architectural features, including window wells and areaways to be constructed per the ILP.	
119	Elevations for all facades showing all architectural features and projections.	
120	On master file architectural plans, all features excluded from proposed plan must be marked with an "X", or, optional features listed within an attached narrative.	
121	Height diagram with all floor section and roof peak elevation and heights shown corresponding to the grading plan.	