

TOWN OF VIENNA | LOT COVERAGE, OUTDOOR LIVING & DECK COVERAGE

Town Code **Sec. 18-213** assigns features on residential lots into two categories of coverage, “Residential Lot Coverage” and “Outdoor Living Coverage”. All applications submitted to the Town of Vienna must show compliance with the requirements of **Sections 18-213**, and **18-217-219**.

WHAT IS LOT COVERAGE?

Each residential lot is limited to 25% lot coverage, which includes the footprint of:

- Principal and accessory buildings with a roof;
- Covered/screened decks in excess of 400 sq. ft.
- Automobile parking spaces and drives;
- Sport courts and tennis courts;
- Patios, stoops, and terraces.

WHAT IS OUTDOOR LIVING & DECK COVERAGE?

Not more than an additional 5 percent of a lot shall be covered by decks. Up to 400 square feet of decks may be covered and not count towards lot coverage with the following conditions:

- Covered decks must be single-story and cannot be converted into conditioned, interior living space.
- Covered decks cannot be located in the front yard; and,
- Covered decks must provide for stormwater BMPs in accordance with the Stormwater Manual for Outdoor Living Areas and meet all criteria included in said manual.

WHAT IS EXCLUDED FROM LOT & OUTDOOR LIVING COVERAGE?

- Steps;
- Areaways without patio space;
- Basement window wells;
- Structures with roof joists which exceed 16 inches on center, not over a patio or deck;
- Sidewalks 5 feet in width or less;
- The area of the residential swimming pool measured from the edge of the pool, and 5 feet of coping, the walkway, around the perimeter of the pool.
- Any cantilevered features such as bay windows, fireplaces, or overhangs without supports.

CALCULATING COVERAGE

Lot coverage must be itemized by different features on a plat of survey completed by a licensed surveyor, or proposed site plan by an engineer. Residents may also use a plat of survey to scale the drawing in several common software programs or calculate the area by hand. **A sample analysis is shown on the reverse of this page.**

WHY A LICENSED SURVEYOR?

A surveyor can provide the most precise measurement of the area of lot features. It benefits the homeowner to have the more accurate account of the coverage when proposing modifications.

HOW TO PROPOSE ADDITIONS TO LOT AND OUTDOOR LIVING COVERAGE

Most modifications to residential lots which add coverage require a building permit or zoning permit. Residents should collect all data required for the application type and submit the documents to the Town of Vienna for review. Staff will review the survey for lot coverage compliance, in addition to the other requirements of the Zoning Ordinance. The Town of Vienna may have a plat on file for residents to use for a coverage calculation.

COVERAGE CALCULATION FOR PERMIT APPLICATIONS

When applying for a permit that will expand the deck or lot coverage of a property, the existing and proposed lot coverage must be calculated and shown in the following formats: drawn on the plat to scale, and in a chart showing the existing square footage, and the proposed square footage of each feature.



Department of Planning and Zoning

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SAMPLE CALCULATION OF COVERAGE

The area of each exiting and proposed feature should be shown in a chart on the survey:

LOT COVERAGE	
House & Garage	1,700
Front Porch	115
Driveway	525
Shed	50
Proposed Patio	150
Total Sq. Ft.	2,490
Lot Area	10,000
% Prop. Coverage	24.9%
DECK & OUTDOOR LIVING COVERAGE	
Deck	250
Prop. Covered Deck	250
Total Sq. Ft.	500
% Prop Coverage	5%

SAMPLE HOUSE LOCATION SURVEY

Proposed modifications must be drawn to scale and include the proposed dimensions and materials. The applicant may draw on a survey of the existing conditions, or have a survey produced with proposed conditions.

The survey must be submitted in its entirety with all scales, the surveyors seal and document title information. House location surveys may vary in appearance by surveyor or purpose. Staff may request a new survey before requested permits are approved or after the project is complete to verify the improvements meet the requirements of the code.

LEGEND

BRL Building Restriction Line
 CW Cantilever Window
 OH Overhang
 WW Window Well
 AC Air Condition Unit
 Fence

Map No.
Owner Name
Deed Book and page

Lot Coverage

House & Garage	1,700
Front Porch	115
Driveway	525
Shed	50
Proposed Patio	150
Total Sq. Ft.	2,490
Lot Area	10,000
% Prop. Coverage	24.9%

Deck & Outdoor Living Coverage

Deck	250
Prop. Covered Deck	250
Total Sq. Ft.	500
% Prop Coverage	5%

Sample Plat Notes

- Property located on Tax Map # No..
- Property is presently zoned RS-00.0.
- This property shown is in zone "X" of the flood plain area.
- Metes and bounds shown hereon are the result of a field run boundary survey by this firm.
- This survey was prepared without the benefit of a field run survey.

House Location Survey
 Lot No.
 Section
 Subdivision
 Deed Book and Page
 Town of Vienna
 Fairfax County, Virginia.
 Scale 1" = 30'
 Survey Date

Official Dated and Signed Seal

Date
Name
License No.

Signature

Company Name
 Address
 Email & Phone

Questions? Contact Planning and Zoning at DPZ@viennava.gov

