



Department of Planning and Zoning

Town of Vienna, Virginia

127 Center Street S

Vienna, Virginia 22180

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Hours: Monday – Friday, 8:00 am - 4:30 pm

Town of Vienna Subdivision Plan Set Checklist

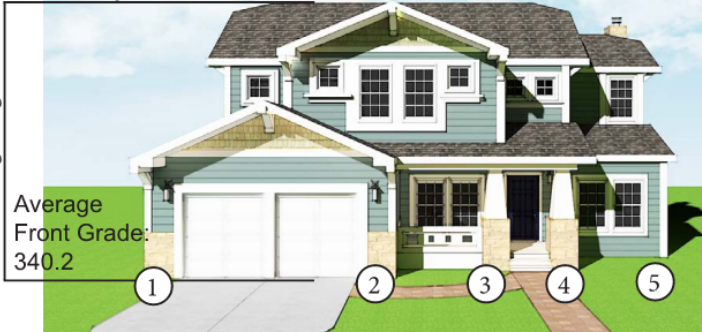
This checklist is meant to serve as a guideline for subdivision plans submitted within the Town of Vienna. Compliance with this checklist does not guarantee approval. More information may be requested in addition to information requested in this checklist. Applicants are responsible for ensuring they are compliant with all relevant Town, County, and State requirements.

Last Revised 9-23-2020

General Plan Requirements		Complied (Yes/No)
Layout		
1	Submittal package should follow sheet names and title as provided with this checklist. Subsequent sheets may be added to each sheet category (ie. C3.0, C3.1, C3.2).	
2	All plans and plats in the Town of Vienna shall meet industry standards for drafting practices. The plan needs to meet at a minimum the drafting standards per part 641 of the National Engineering Handbook.	
3	All sheets signed and sealed by a licensed professional.	
4	All dimensions shown in feet and decimals of a foot to the closest 0.01 of a foot; all bearings in degrees, minutes and the nearest ten seconds.	
5	All plan sheets shall include North Arrow, Graphic Scale, and a note referencing the Virginia North State Plane Coordinate system, Zone 5551, FIPS zone 4501; NAD 83 datum.	
6	Name, Address, Telephone, and e-mail address of firm preparing plans within title block on all plan sheets.	
7	Date of revisions within title block on all plan sheets.	
8	Lot numbers and parcel ownership for subject and adjacent properties on all sheets with parcel boundary information.	
9	Provide 3" x 4" blank area at the bottom right corner of all sheets to accommodate Town of Vienna approval stamp. This area must be in the same location on each sheet.	
10	Include Town of Vienna General Notes on a plan sheet	
11	Plans shall have a maximum scale of 1" = 50' and extend a minimum 50' past property/project limits unless otherwise indicated. Appropriate match lines shall be included.	
12	Plans shall have maximum vertical scale of 1"=5'.	
Transportation		
13	Existing road network including street name, right-of-way width, category, and traffic volume shown on all relevant plan sheets.	
14	Curve data shown for new streets and which conform to street category on all relevant plan sheets. Street category and traffic volume shown for each new street.	

15	Typical section with dimensions, street category and design speed shown for each proposed street.	
16	Stop or yield signs and stop bars shown at all intersections.	
17	Posted speed shown at existing street intersections.	
18	Distance shown to nearest intersection or median break in each direction on existing divided roadways.	
19	Distance shown between centerline of all existing or proposed intersections or driveways.	
20	Length of all existing, or proposed, turn lanes and tapers shown.	
21	Profile of any proposed stub street is extended beyond property line to indicate future constructability.	
22	At least one curb ramp provided across from new intersections on existing curb and gutter roadways. One curb ramp provided in each direction of intersection crossings.	
23	Profile shown for all proposed streets including widening and turning lanes on existing streets. Elevations, percent grade, culverts, storm/sanitary sewer and utility crossings shown on street profile. Existing grade or existing street centerline profile is shown for an additional minimum 200'.	
24	Curb ramp width matches connecting sidewalk/trail.	
25	Curb ramp spot elevations, dimensions, and slopes to show the ramp meets minimum ADA requirements.	
26	Driveway apron spot elevations, dimensions, and slope to show the apron meets minimum ADA requirements.	
Environmental		
27	Flow arrows provided for each storm pipe.	
28	All existing stormwater conveyances including stream name and VDEQ 303(d) classifications shown on all relevant plan sheets.	
29	When applicable, water resource protection and management areas, as defined and outlined in Town Code Chapter 18, Article 21.1, shall be clearly delineated and labeled on all relevant plan sheets.	
30	When applicable, floodplain boundary and base elevation per the latest FEMA Flood Insurance Rate Map shall be clearly delineated and labeled on all relevant plan sheets.	
31	Tree protection (existing & required) areas, floodway & floodplain, and other protected areas shall be clearly delineated and labeled on all relevant plan sheets, including existing conditions.	
Cover Sheet		
32	Name of proposed subdivision, town, county, and state. Subdivision name must be unique. Number of lots of proposed subdivision.	
33	Existing address range of subject site.	
34	The names and addresses of all owners of subject site.	
35	Names, addresses, telephone numbers, email addresses, and seals of all professionals participating in the development application process.	
36	Date of first submission and any subsequent resubmissions.	
37	Tax map, group, and parcel number(s) of site.	
38	Vicinity map showing the location of the proposed subdivision, drawn to scale 1 inch equals not more than 2000 feet or other appropriate scale as permitted by the Director of Public Works. Include North Arrow and Graphic Scale. Show Town boundary if within ¼ mile of the site.	
39	Town Project File number (to be assigned once initial submittal is made).	
40	Sheet index for all sheets included in the submittal set.	
41	Soil report requirement indicated if construction is proposed in class III or IVA soils or a dam is proposed requiring a report per Fairfax County PFM Plate 48-6.	

42	Limited soil report requirement is indicated if construction is proposed in a IVB soil. Limited report included in the 1 st submission plan.	
43	Use group classification and type of construction shown.	
44	Fire Marshal notes, data filled in.	
45	Sanitary sewer information filled in.	
Property Map		
46	Map shall have a maximum scale of 1" = 100' and extend a minimum of 500' past property/project limits.	
47	Map shall include parcel information for subject site and all adjoining properties.	
48	Include metes and bounds for subject site and subject site area in acres and square feet.	
49	Include all existing easements, including labels, dimensions and deed book and page.	
50	Names and locations of all abutting subdivisions and property owners, buildings, watercourses, utilities, culverts and other essential features.	
Existing Conditions Plan		
51	Existing structures and buildings, including the exact location, description, and dimensions.	
52	Utilities both above and below ground and existing roadway infrastructure, including sidewalk, curb and gutter, and edge of pavement.	
53	Existing natural site features, including but not limited to tree canopy, watercourses, water bodies, conveyances, springs and channels.	
54	The location, type and size of all existing trees. If the property is densely wooded in whole or in part, the limits of such densely wooded areas may be shown on the plan in lieu of locating individual trees within these areas.	
55	Include all existing easements, including labels, dimensions and deed book and page.	
56	Existing topographic information having a contour intervals of 2 feet or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation.	
Subdivision Layout Plan		
57	Information from Existing Conditions Plan shown lightly in grayscale.	
58	Boundary survey, with an error of closure within the limit of one in ten thousand, related to the true meridian. The survey may be related to the U.S.C. & G.S. state grid north if the coordinates of two adjacent corners of the subdivision are shown.	
59	Deed description and map of survey of the tract boundary made and certified by a licensed surveyor.	
60	All survey monuments and benchmarks, together with their description.	
61	Certificate signed by the surveyor setting forth the source of title of the owner of the land subdivided, and the place of record of the last instrument in the chain of title.	
62	When the subdivision consists of land acquired from more than one source of title, the outlines of the various tracts shall be indicated by dash lines, and identifications of the respective tracts shall be placed on the plat.	
63	The exact location of any grave, object or structure marking a place of burial on the lands proposed for subdivision.	
64	Locations, square footages, floor areas, uses, building height, and exterior dimensions of all proposed buildings and habitable structures.	
65	Location of any proposed poles, fire hydrants, retaining walls or other structures.	
66	Location and dimensions of roadways, vehicle entrances/exits and sidewalks.	
67	Location, width, and materials of all proposed sidewalks, trails, and paths.	
68	Location and label of all stormwater management facilities (i.e. Bioretention, pervious pavers, detention pond).	

69	Minimum setback lines (based on zoning district classifications).																																									
70	All proposed easements, including dimensions and type (e.g., proposed access, proposed public utility, etc.)																																									
71	All environment boundaries shown and labeled (RPA, RMA, Floodplain etc.)																																									
72	Location, height, and exterior material detail for all proposed retaining walls and fences.																																									
73	The accurate outlines, dimensions and purposes of all property which is offered for dedication or is to be reserved for acquisition for public use, or is to be reserved by deed covenant for the common use of the property owners in the subdivision.																																									
Zoning Compliance Plan																																										
74	A tabulation listing the subdivision specifications as they compare to minimum zoning requirements.																																									
75	The proposed lot lines with dimensions, engineering bearings, lot areas, lot midline widths and “lot shape factor” (see Section 18-607 Subdivision of the Town Code).																																									
76	The zoning classification and proposed use for the area being subdivided; and any proposed changes in the use, height or area under any zoning regulations applicable to the area.																																									
77	<div><div>The provision of a sketch—or other acceptable drawing—that clearly depicts the proposed front and/or side elevation of each new building along with proposed lot grading and maximum proposed height to ensure compliance with the height requirements as set forth in Chapter 18 of the Vienna Town Code. See example below:</div><div><div><div><div>Peak Ridge: 374.5</div><div>Building Height: 34.3</div><div>Average Front Grade: 340.2</div></div><table><thead><tr><th>Spot</th><th>Existing</th><th>Proposed</th><th>Deviation</th></tr></thead><tbody><tr><td>1</td><td>341.2</td><td>341.0</td><td>-0.2</td></tr><tr><td>2</td><td>342.1</td><td>340.3</td><td>-1.8</td></tr><tr><td>3</td><td>341.5</td><td>339.1</td><td>-2.4</td></tr><tr><td>4</td><td>339.0</td><td>339.6</td><td>0.6</td></tr><tr><td>5</td><td>340.8</td><td>341.1</td><td>0.3</td></tr><tr><td>6</td><td>343.1</td><td>342.8</td><td>-0.3</td></tr><tr><td>7</td><td>341.9</td><td>342.0</td><td>0.1</td></tr><tr><td>8</td><td>342.1</td><td>342.3</td><td>0.2</td></tr><tr><td>9</td><td>339.3</td><td>341.0</td><td>1.7</td></tr></tbody></table><div><div>Average Front Grade: 340.2</div><div>Elevation of Peak Ridge: 374.5</div><div>Building Height: 34.3</div></div></div></div></div>	Spot	Existing	Proposed	Deviation	1	341.2	341.0	-0.2	2	342.1	340.3	-1.8	3	341.5	339.1	-2.4	4	339.0	339.6	0.6	5	340.8	341.1	0.3	6	343.1	342.8	-0.3	7	341.9	342.0	0.1	8	342.1	342.3	0.2	9	339.3	341.0	1.7	
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78	If a zoning change is involved, certification from the Zoning Administrator shall accompany the plat, stating that the change requested has been approved and is in effect.																																									
79	List of any proffered conditions for the subdivision associated with rezoning applications.																																									
80	Setback diagrams for each lot showing setbacks of proposed buildings.																																									

81	<p>Lot coverage diagram showing proposed lot coverage of each proposed lot. See example below:</p> <div data-bbox="191 247 1333 1108"> <div data-bbox="224 300 503 331"> <p>Example Lot Coverage</p> </div> <div data-bbox="224 363 472 510"> <p>House: 2,274 Sq. Ft. Porch: 175 Sq. Ft. Driveway: 710 Sq. Ft. Shed: 120 Sq. Ft. Patio: 164 Sq. Ft.</p> </div> <div data-bbox="224 541 443 573"> <p>Total: 3,443 Sq. Ft.</p> </div> <div data-bbox="224 604 659 636"> <p>Lot Coverage: $3,443/20,000 = 17.22\%$</p> </div> <div data-bbox="224 699 524 730"> <p>Example Deck Coverage</p> </div> <div data-bbox="224 762 443 793"> <p>Deck: 301.5 Sq. Ft.</p> </div> <div data-bbox="224 825 443 856"> <p>Total: 301.5 Sq. Ft.</p> </div> <div data-bbox="224 888 667 919"> <p>Deck Coverage: $301.5/20,000 = 1.51\%$</p> </div> <div data-bbox="755 247 1333 1108"> </div> </div>	
Grading and Drainage Plan		
82	Proposed contour intervals of 2 feet or less, showing all area covered by the subdivision including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation.	
83	Existing topographic information having a contour intervals of 2 feet or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation. Existing information should be lightly shown in grayscale.	
84	Locations, square footages, floor areas, uses, building height, and exterior dimensions of all proposed buildings and habitable structures.	
85	First floor, basement floor and garage floor elevations provided for each proposed housing unit.	
86	Percent slope of driveway from garage to property line. PIM 3.12.A	
87	Location of any proposed poles, fire hydrants, retaining walls, guy wires, or other structures.	
88	Location of retaining walls with elevations proposed for the top and bottom of walls.	
89	All natural and manmade open channels and swales.	
90	Location and dimensions of roadways, vehicle entrances/exits, and sidewalks.	
91	Location and label of all stormwater management facilities (i.e. Bioretention, pervious pavers, detention pond).	
92	All proposed easements, including dimensions and type (e.g., proposed access, proposed public utility, etc.)	

93	RPA to be delineated 100 feet from top of bank based on field run survey data. All environment boundaries shown and labeled (RPA, RMA, Floodplain etc.)	
94	Drainage shall honor natural divides for both concentrated and non-concentrated stormwater runoff leaving the site, unless a written justification is provided and approved by the Director.	
95	Limits of Disturbance and protected areas shall be clearly delineated.	
96	The accurate outlines, dimensions and purposes of all property which is offered for dedication or is to be reserved for acquisition for public use, or is to be reserved by deed covenant for the common use of the property owners in the subdivision.	
Stormwater Management Plan		
97	Completed and accurate Stormwater Management Plan DEQ Checklist if stormwater management plan is incorporated into plan.	
98	Computations demonstrate compliance with water quality control requirements, including VRRM spreadsheet	
99	A narrative summarizing how water quality control requirements are being provided for the site.	
100	Statement of maintenance responsibility for the BMP (Public or Private).	
101	BMP designed in accordance with all provision stated in the clearing house documents for said BMP	
102	A narrative summarizing how water quantity requirements are being met for channel protection and flood protection.	
103	Water Quantity requirements are being met for localized flood including when the site directly outfalls into a floodplain.	
104	For manufactured facilities, a letter on the plan stating the facility has been design in accordance with manufacture's specification and requirements.	
105	Information on the type and location of stormwater discharges; information on the features to which stormwater is being discharged including surface waters, and the predevelopment and post development drainage areas.	
106	A general description of the proposed stormwater management facilities and the mechanism through which the facilities will be operated and maintained after construction is complete.	
107	A stormwater management facility maintenance agreement as required in Section 23-18 of the Town Code.	
108	Information on the proposed stormwater management facilities including: <ul style="list-style-type: none"> • The type of facilities; • Location, including geographic coordinates; • Acres treated; and • The surface waters into which the facility will discharge. 	
109	Hydrologic and hydraulic computations, including runoff characteristics.	
110	Documentation and calculations verifying compliance with the water quality and quantity requirements of Section 23-17 of the Town Code.	

111	<p>A map or maps of the site that depicts the topography of the site and includes:</p> <ul style="list-style-type: none"> • All contributing drainage areas; • Existing streams, ponds, culverts, ditches, wetlands, other water bodies, and floodplains; • Soil types, forest cover, and other vegetative areas; • Current land use including existing structures, roads, and locations of known utilities and easements; • Sufficient information on adjoining parcels to assess the impacts of stormwater from the site on these parcels; • The limits of clearing and grading, and the proposed drainage patterns on the site; • Proposed buildings, roads, parking areas, utilities, and stormwater management facilities; and • Proposed land use with tabulation of the percentage of surface area to be adapted to various uses, including but not limited to planned locations of utilities, roads, and easements. 	
112	All other information as may be required by Article 3 of Chapter 23 of the Town Code and the Code of Virginia.	
113	A Water Quality Impact Analysis (WQIA) shall be provided where the site contains RPA and/or RMA. The study shall meet all mitigation for re-development within the RPA. PIM 2.4	
Erosion and Sediment Control Plans		
114	Plan has been prepared in accordance with the latest DEQ standards and regulations.	
115	Plan has been prepared using the latest VESCH checklist.	
116	A minimum of a two phased plan must be provided.	
117	Limits of clearing and grading shown and includes all work to be done (offsite, utility extensions, outfalls, etc.) and matches between grading, erosion and sediment control, landscape plans.	
119	Phase 1 initial limits of clearing to install controls needed with minimal clearance is shown and described in E&S phase I narrative.	
120	Sediment trap computations provided (Pipe outlet required if drainage is greater than 1 acre).	
121	Sediment basin calculations provided.	
122	Region specific temporary and permanent seeding tables provided.	
123	Drainage divides shown for E&S measures that have drainage area limitations. Drainage areas do not exceed ¼ ac/100 ft for SF, 1 acre for IP, 5 acres for DD and 3 acres for ST. Drainage divides for SSF are only required when it needs to be demonstrated that concentrated flow to SSF does not exceed 5 cfs.	
Right-of-Way and Access Plan		
124	Fire and emergency vehicle turning movements through the site.	
125	Existing and proposed water mains with size and fire hydrants shown and labeled.	
Site Distance Plan and Profiles		
126	Plan shall meet all latest VDOT requirements for intersection and stopping site distance.	
127	Sight distance easement is shown on layout, grading, tree preservation and landscape plans.	
Site Utility Plan		
General		
128	No man-made structures such as building or shed or over-story trees are placed within a utility easement.	

129	Load plain must be analyzed where foundations are place within 15 feet of a utility.	
130	Type, size, location and dimensions of all existing and proposed public utilities, including non-Town utilities, such as but not limited to, electric, telephone, gas and C.A.T.V., graphically shown on plan view with legend.	
131	Show all existing, proposed, and temporary construction easements associated with utilities.	
132	All horizontal utility separations.	
133	Location of existing structures, houses, utility crossings, curbs, property lines, railroad crossings, culverts and bridges shown on plan view.	
134	All proposed and existing to remain roadways, sidewalks, stormwater infrastructure, buildings, landscaping, contours, and any other surface features lightly shown.	
135	Future extensions showing proposed sanitary stub and over-blast, water/reclaimed blow off valve, or water fire hydrant.	
136	Vertical and horizontal separation shown between sanitary sewer main and waterlines and storm sewer lines.	
Water		
137	Location, size and material of proposed and existing water mains shown.	
138	Proposed tie-ins to existing water system shown.	
139	Detailed description provided of how utility connections are to be made (i.e. Tapping Sleeve and Valve), and dimensions of mill and overlay (where applicable).	
140	Test pits shown where required.	
141	Service lines shown on plans.	
Storm Drain		
142	Manhole / Inlet labels, and status (proposed, existing, future).	
143	Pipe material, size, length and slope labeled for each pipe.	
144	If discharge is to an open channel, it is an existing natural watercourse (a stream with a defined channel) or manmade channel with sufficient capacity.	
145	Concentrated runoff discharge leaving the site shall not aggravate or create a condition where an existing structure under an approved building permit floods. If such a structure exist, detention for the 100-year storm event is provided.	
146	Inlet ponding is within an easement.	
147	HGL computations provided for all storm systems. HGL is depicted on the storm profiles and is at least 1 foot below established ground elevation and no more than 5 feet above the crown of the pipe.	
148	Design computations provided for closed and open systems, including driveway culverts.	
149	Quantities of surface runoff greater than 2 cfs or crossing more than 3 lots is conveyed in a closed drainage system.	
150	Location and approximate extent of the overland relief paths shown in proximity of buildings. Calculations provided. No building is flooded by the 100-year flow.	
Sanitary Sewer		
151	Pipe material, size and length labeled for each pipe.	
152	Manhole labels, and status (proposed, existing, future).	
Site Utility Profiles		
153	All vertical utility separations and cover dimensioned.	
154	Location of utility crossings shown and labeled on profile.	
155	Profile stationing and label at 25-ft intervals.	
156	Profile of all proposed public water mains included.	
157	Label length, slope, and material on all sewer pipe sections.	
158	Manhole labels, stationing, status, invert and top of casting elevations (horizontal callouts).	
159	Future and existing lines shown minimum 50' past proposed infrastructure.	

Utility Details		
160	Standard Drawings and details for all proposed utilities and accessories.	
161	Town Standard Details for all applicable water/sewer specifications.	
162	This sheet may also be used for applicable general notes and tables.	
Tree Preservation and Landscape Plan		
163	Name of firm or individual preparing the plan.	
164	Scaled rendering, using current information from the site development plan, which depicts existing and proposed grades. Existing information should be lightly shown in grayscale.	
165	Graphic legend depicting existing vegetation and proposed conditions.	
166	Location of all improvements shown on the site development plan.	
167	Location of all existing and proposed utilities and sewers.	
168	Location of all proposed sediment control devices.	
169	Graphic depiction of all existing trees including location, types, and size. All deciduous and evergreen trees of 4" diameter at breast height and greater and all multi-stemmed trees 8' in height or taller must be shown. All Town/public right-of-way trees of 1.5" caliper and greater must be shown.	
170	Graphic depiction of the accurate drip line canopy of all existing trees showing the extent of the critical root zone.	
171	Clear designation and tabulation of all existing trees to be saved or preserved, removed, or impacted as well as any additional tree plantings required to meet the 20% canopy coverage requirement.	
172	Proposed tree protection and preservation measures for all saved and impacted trees depicting, if necessary, root-pruning lines, protective devices, and procedures, including but not limited to fencing, boring, aeration, temporary special paving areas, retaining walls, etc.	
173	All invasive plants and vines within tree-save areas shall be controlled and removed from trees. This shall be noted on a tree preservation sheet.	
174	Tree protection practices and new plantings shall be in compliance with Town of Vienna standards.	
175	Certification signed and sealed by a landscape architect licensed in the Commonwealth of Virginia or ISA-certified arborist.	
Lighting Plan		
176	Location, type, and height of all street lights.	
177	Details on colors and materials for all lighting fixtures.	
178	Grid or photometric diagram showing maximum illumination values at grade. Light intensity is to be measured in footcandles. Footcandles shall be shown at least 50 feet past the proposed subdivision.	
179	Clearly identified/labeled property lines.	
180	Street Lights – Provide street light plan and details per the Town's standard street light to be submitted to the Town and to County Street Lights for review.	