



Department of Planning and Zoning

Town of Vienna, Virginia

127 Center Street S

Vienna, Virginia 22180

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Hours: Monday – Friday, 8:00 am - 4:30 pm

Town of Vienna Site Plan Set Checklist

This checklist is meant to serve as a guideline for site plans submitted within the Town of Vienna. Compliance with this checklist does not guarantee approval. More information may be requested in addition to information requested in this checklist. Applicants are responsible for ensuring they are compliant with all relevant Town, County, and State requirements.

Last Revised 2-11-2020

General Plan Requirements		Complied (Yes/No)
Layout		
1	Submittal package should follow sheet names and title as provided with this checklist. Subsequent sheets may be added to each sheet category (ie. C3.0, C3.1, C3.2).	
2	All plans and plats in the Town of Vienna shall meet industry standards for drafting practices. The plan needs to meet at a minimum the drafting standards per part 641 of the National Engineering Handbook.	
3	All sheets signed and sealed by a licensed professional.	
4	All dimensions shown in feet and decimals of a foot to the closest 0.01 of a foot; all bearings in degrees, minutes and the nearest ten seconds.	
5	All plan sheets shall include North Arrow, Graphic Scale, and a note referencing the Virginia North State Plane Coordinate system, Zone 5551, FIPS zone 4501; NAD 83 datum.	
6	Name, Address, Telephone, and e-mail address of firm preparing plans within title block on all plan sheets.	
7	Date of revisions within title block on all plan sheets.	
8	Lot numbers and parcel ownership for subject and adjacent properties on all sheets with parcel boundary information.	
9	Provide 3" x 4" blank area at the bottom right corner of all sheets to accommodate Town of Vienna approval stamp. This area must be in the same location on each sheet.	
10	Include Town of Vienna General Notes on a plan sheet	
11	Plans shall have a maximum scale of 1" = 50' and extend a minimum 50' past property/project limits unless otherwise indicated. Appropriate match lines shall be included.	
12	Plans shall have maximum vertical scale of 1"=5'.	
Transportation		
13	Existing road network including street name, right-of-way width, category, and traffic volume shown on all relevant plan sheets.	
14	Curve data shown for new streets and which conform to street category on all relevant plan sheets. Street category and traffic volume shown for each new street.	

15	Typical section with dimensions, street category and design speed shown for each proposed street.	
16	Stop or yield signs and stop bars shown at all intersections.	
17	Posted speed shown at existing street intersections.	
18	Distance shown to nearest intersection or median break in each direction on existing divided roadways.	
19	Distance shown between centerline of all existing or proposed intersections or driveways.	
20	Length of all existing, or proposed, turn lanes and tapers shown.	
21	Profile of any proposed stub street is extended beyond property line to indicate future constructability.	
22	At least one curb ramp provided across from new intersections on existing curb and gutter roadways. One curb ramp provided in each direction of intersection crossings.	
23	Profile shown for all proposed streets including widening and turning lanes on existing streets. Elevations, percent grade, culverts, storm/sanitary sewer and utility crossings shown on street profile. Existing grade or existing street centerline profile is shown for an additional minimum 200'.	
24	Curb ramp width matches connecting sidewalk/trail.	
25	Curb ramp spot elevations, dimensions, and slopes to show the ramp meets minimum ADA requirements.	
26	Driveway apron spot elevations, dimensions, and slope to show the apron meets minimum ADA requirements.	
Environmental		
27	Flow arrows provided for each storm pipe.	
28	All existing stormwater conveyances including stream name and VDEQ 303(d) classifications shown on all relevant plan sheets.	
29	When applicable, water resource protection and management areas, as defined and outlined in Town Code Chapter 18, Article 21.1, shall be clearly delineated and labeled on all relevant plan sheets.	
30	When applicable, floodplain boundary and base elevation per the latest FEMA Flood Insurance Rate Map shall be clearly delineated and labeled on all relevant plan sheets.	
31	Tree protection (existing & required) areas, floodway & floodplain, and other protected areas shall be clearly delineated and labeled on all relevant plan sheets, including existing conditions.	
Cover Sheet		
32	Name of proposed development (include Subdivision Name, Plan Type, Section, Revision, Lot Number, [Business Name]). Proposed development name should be unique.	
33	Existing address range of subject site and proposed address range (if applicable).	
34	The names and addresses of all owners of subject site.	
35	Names, addresses, telephone numbers, email addresses, and seals of all professionals participating in the development application process.	
36	Date of first submission and any subsequent resubmissions.	
37	Tax map, group, and parcel number(s) of site.	
38	Vicinity map showing the location of the proposed site, drawn to scale 1 inch equals not more than 2000 feet or other appropriate scale as permitted by the Director of Public Works. Include North Arrow and Graphic Scale. Show Town boundary if within ¼ mile of the site.	
39	Town Project File number (to be assigned once initial submittal is made).	
40	Sheet index for all sheets included in the submittal set.	
41	Soil report requirement indicated if construction is proposed in class III or IVA soils or a dam is proposed requiring a report per Fairfax County PFM Plate 48-6.	

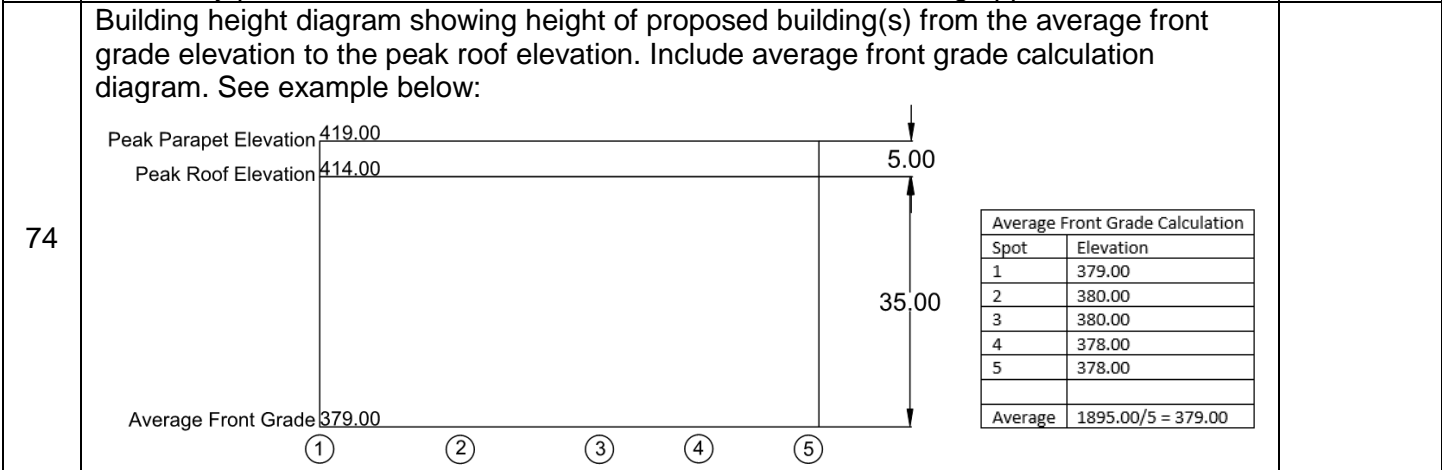
42	Limited soil report requirement is indicated if construction is proposed in a IVB soil. Limited report included in the 1 st submission plan.	
43	Use group classification and type of construction shown.	
44	Fire Marshal notes, data filled in.	
45	Sanitary sewer information filled in.	
Property Map		
46	Map shall have a maximum scale of 1" = 100' and extend a minimum of 500' past property/project limits.	
47	Map shall include parcel information for subject site and all adjoining properties.	
48	Include metes and bounds for subject site and subject site area in acres and square feet.	
49	Include all existing easements, including labels, dimensions and deed book and page.	
Existing Conditions Plan		
50	Existing structures and buildings, including the exact location, description (number of floors, height, and floor area), and dimensions.	
51	Utilities both above and below ground and existing roadway infrastructure, including sidewalk, curb and gutter, and edge of pavement.	
52	Existing natural site features, including but not limited to tree canopy, watercourses, water bodies, conveyances, springs and channels.	
53	The location, type and size of all existing trees. If the property is densely wooded in whole or in part, the limits of such densely wooded areas may be shown on the plan in lieu of locating individual trees within these areas.	
54	Include all existing easements, including labels, dimensions and deed book and page.	
55	Existing topographic information having a contour intervals of 2 feet or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation.	
56	Minimum setback lines (based on existing zoning district classifications).	
Layout Plan		
57	Information from Existing Conditions Plan shown lightly in grayscale.	
58	Locations, square footages, floor areas, uses, building height, and exterior dimensions of all proposed buildings and habitable structures.	
59	Location of any proposed poles, fire hydrants, retaining walls, pump islands, signs, doorways, window wells, guy wires, or other structures.	
60	Location and dimensions of roadways, vehicle entrances/exits, cross-access between parking lots, sidewalks, loading zones, and refuse areas.	
61	Location, dimensions and applicable counts (total, ADA, etc) of vehicle and bicycle parking.	
62	Location and number of all stacking spaces, if applicable.	
63	Drive-through lanes and queuing graphically illustrated, if applicable.	
64	Location, width, and materials of all proposed sidewalks, trails, and paths.	
65	Location and label of all stormwater management facilities (i.e. Bioretention, pervious pavers, detention pond).	
66	Minimum setback lines (based on zoning district classifications, proposed zone if a rezoning)	
67	All proposed easements, including dimensions and type (e.g., proposed access, proposed public utility, etc.)	
68	All environment boundaries shown and labeled (RPA, RMA, Floodplain etc.)	
69	Location, height, and exterior material detail for all proposed retaining walls and fences.	
Zoning Compliance Plan		

70 A tabulation listing the site plan specifications as they compare to minimum zoning requirements.

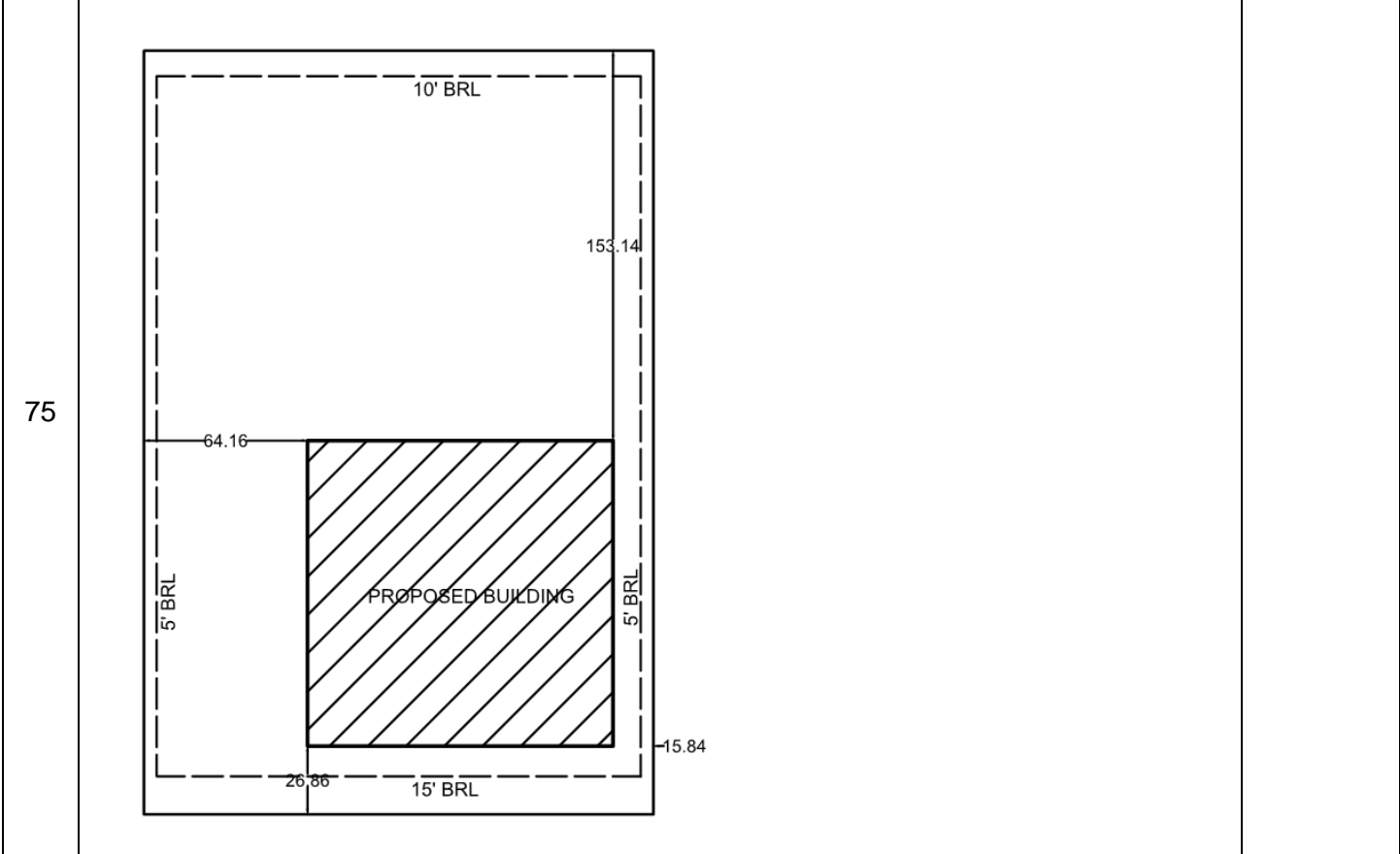
71 A schedule showing compliance with the parking requirements of Chapter 18 of the Town Code.

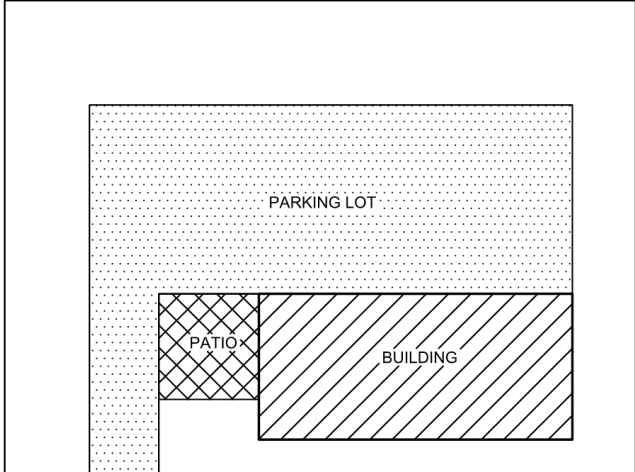
72 Request of Modification(s) of requirements, if any requested, per Sections [18-256](#) and [18-257](#) of the Town Code.

73 List of any proffered conditions for the site associated with rezoning applications.



75 Setback diagram showing setbacks of proposed building(s). See example below:



76	<p>Lot coverage/open space diagram (if applicable) showing proposed lot coverage/open space of site. See example below:</p> 	<table border="1"> <thead> <tr> <th colspan="2">Lot Coverage Calculation</th> </tr> </thead> <tbody> <tr> <td>Building Area</td> <td>10,000 sf</td> </tr> <tr> <td>Patio Area</td> <td>2,000 sf</td> </tr> <tr> <td>Parking Lot</td> <td>20,000 sf</td> </tr> <tr> <td>Total</td> <td>32,000 sf</td> </tr> <tr> <td>Site Area</td> <td>100,000 sf</td> </tr> <tr> <td>Lot Coverage</td> <td>$32,000/100,000 = 32.00\%$</td> </tr> </tbody> </table>	Lot Coverage Calculation		Building Area	10,000 sf	Patio Area	2,000 sf	Parking Lot	20,000 sf	Total	32,000 sf	Site Area	100,000 sf	Lot Coverage	$32,000/100,000 = 32.00\%$
	Lot Coverage Calculation															
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Total	32,000 sf															
Site Area	100,000 sf															
Lot Coverage	$32,000/100,000 = 32.00\%$															

Grading and Drainage Plan

77	Proposed contour intervals of 2 feet or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation.
78	Existing topographic information having contour intervals of 2 feet or less, showing all area covered by the site including 50 feet overlap of offsite area. More information may be required for sites with minimal grade deviation. Existing information should be lightly shown in grayscale.
79	Locations, square footages, floor areas, uses, building height, and exterior dimensions of all proposed buildings and habitable structures. Include basement floor and first floor elevations of proposed buildings.
80	Location of any proposed poles, fire hydrants, retaining walls, pump islands, signs, doorways, window wells, guy wires, or other structures.
81	Location of retaining walls with elevations proposed for the top and bottom of walls.
82	All natural and manmade open channels and swales.
83	Location and dimensions of roadways, vehicle entrances/exits, cross-access between parking lots, sidewalks, loading zones, and refuse areas.
84	Location and label of all stormwater management facilities (i.e. Bioretention, pervious pavers, detention pond).
85	All proposed easements, including dimensions and type (e.g., proposed access, proposed public utility, etc.)
86	RPA to be delineated 100 feet from top of bank based on field run survey data. All environment boundaries shown and labeled (RPA, RMA, Floodplain etc.)
87	Drainage shall honor natural divides for both concentrated and non-concentrated stormwater runoff leaving the site, unless a written justification is provided and approved by the Director.
88	Limits of Disturbance and protected areas shall be clearly delineated.

Stormwater Management Plan

89	Completed and accurate Stormwater Management Plan DEQ Checklist if stormwater management plan is incorporated into plan.
90	Computations demonstrate compliance with water quality control requirements, including VRRM spreadsheet

91	A narrative summarizing how water quality control requirements are being provided for the site.	
92	Statement of maintenance responsibility for the BMP (Public or Private).	
93	BMP designed in accordance with all provisions stated in the clearing house documents for said BMP	
94	A narrative summarizing how water quantity requirements are being met for channel protection and flood protection.	
95	Water Quantity requirements are being met for localized flood including when the site directly outfalls into a floodplain.	
96	For manufactured facilities, a letter on the plan stating the facility has been design in accordance with manufacture's specification and requirements.	
97	Information on the type and location of stormwater discharges; information on the features to which stormwater is being discharged including surface waters, and the predevelopment and postdevelopment drainage areas.	
98	A general description of the proposed stormwater management facilities and the mechanism through which the facilities will be operated and maintained after construction is complete.	
99	A stormwater management facility maintenance agreement as required in Section 23-18 of the Town Code.	
100	Information on the proposed stormwater management facilities including: <ul style="list-style-type: none"> • The type of facilities; • Location, including geographic coordinates; • Acres treated; and • The surface waters into which the facility will discharge. 	
101	Hydrologic and hydraulic computations, including runoff characteristics.	
102	Documentation and calculations verifying compliance with the water quality and quantity requirements of Section 23-17 of the Town Code.	
103	A map or maps of the site that depicts the topography of the site and includes: <ul style="list-style-type: none"> • All contributing drainage areas; • Existing streams, ponds, culverts, ditches, wetlands, other water bodies, and floodplains; • Soil types, forest cover, and other vegetative areas; • Current land use including existing structures, roads, and locations of known utilities and easements; • Sufficient information on adjoining parcels to assess the impacts of stormwater from the site on these parcels; • The limits of clearing and grading, and the proposed drainage patterns on the site; • Proposed buildings, roads, parking areas, utilities, and stormwater management facilities; and • Proposed land use with tabulation of the percentage of surface area to be adapted to various uses, including but not limited to planned locations of utilities, roads, and easements. 	
104	All other information as may be required by Article 3 of Chapter 23 of the Town Code and the Code of Virginia.	
105	A Water Quality Impact Analysis (WQIA) shall be provided where the site contains RPA and/or RMA. The study shall meet all mitigation for re-development within the RPA.	
Erosion and Sediment Control Plans		
106	Plan has been prepared in accordance with the latest DEQ standards and regulations.	
107	Plan has been prepared using the latest VESCH checklist.	
108	A minimum of a two phased plan must be provided.	

109	Limits of clearing and grading shown and includes all work to be done (offsite, utility extensions, outfalls, etc.) and matches between grading, erosion and sediment control, landscape plans.	
110	Phase 1 initial limits of clearing to install controls needed with minimal clearance is shown and described in E&S phase I narrative.	
111	Sediment trap computations provided (Pipe outlet required if drainage is greater than 1 acre).	
112	Sediment basin calculations provided.	
113	Region specific temporary and permanent seeding tables provided.	
114	Drainage divides shown for E&S measures that have drainage area limitations. Drainage areas do not exceed ¼ ac/100 foot for SF, 1 acre for IP, 5 acres for DD and 3 acres for ST. Drainage divides for SSF are only required when it needs to be demonstrated that concentrated flow to SSF does not exceed 5 cfs.	
Right-of-Way and Access Plan		
115	Fire and emergency vehicle turning movements through the site.	
116	Location of fire lanes shown.	
117	Existing and proposed water mains with size and fire hydrants shown and labeled.	
118	Loading and refuse vehicle turning movements through the site.	
119	All building entrances shown, and main entrance identified.	
Site Distance Plan and Profiles		
120	Plan shall meet all latest VDOT requirements for intersection and stopping site distance.	
121	Sight distance easement is shown on layout, grading, tree preservation and landscape plans.	
Site Utility Plan		
General		
122	No man-made structures such as building or shed or over-story trees are placed within a utility easement.	
123	Load plain must be analyzed where foundations are placed within 15 feet of a utility.	
124	Type, size, location and dimensions of all existing and proposed public utilities, including non-Town utilities, such as but not limited to, electric, telephone, gas and C.A.T.V., graphically shown on plan view with legend.	
125	Show all existing, proposed, and temporary construction easements associated with utilities.	
126	All horizontal utility separations.	
127	Location of existing structures, houses, utility crossings, curbs, property lines, culverts and bridges shown on plan view.	
128	All proposed and existing to remain roadways, sidewalks, stormwater infrastructure, buildings, landscaping, contours, and any other surface features lightly shown.	
129	Future extensions showing proposed sanitary stub and over-blast, water/reclaimed blow off valve, or water fire hydrant.	
130	Vertical and horizontal separation shown between sanitary sewer main and waterlines and storm sewer lines.	
Water		
131	Location, size and material of proposed and existing water mains shown.	
132	Proposed tie-ins to existing water system shown.	
133	Detailed description provided of how utility connections are to be made (i.e. Tapping Sleeve and Valve), and dimensions of mill and overlay (where applicable).	
134	Test pits shown where required.	

135	Service lines shown on plans.	
Storm Drain		
136	Manhole / Inlet labels, and status (proposed, existing, future).	
137	Pipe material, size, length and slope labeled for each pipe.	
138	If discharge is to an open channel, it is an existing natural watercourse (a stream with a defined channel) or manmade channel with sufficient capacity.	
139	Concentrated runoff discharge leaving the site shall not aggravate or create a condition where an existing structure under an approved building permit floods. If such a structure exist, detention for the 100-year storm event is provided.	
140	Inlet ponding is within an easement.	
141	HGL computations provided for all storm systems. HGL is depicted on the storm profiles and is at least 1 foot below established ground elevation and no more than 5 feet above the crown of the pipe.	
142	Design computations provided for closed and open systems, including driveway culverts.	
143	Quantities of surface runoff greater than 2 cfs or crossing more than 3 lots is conveyed in a closed drainage system.	
144	Location and approximate extent of the overland relief paths shown in proximity of buildings. Calculations provided. No building is flooded by the 100-year flow.	
Sanitary Sewer		
145	Pipe material, size and length labeled for each pipe.	
146	Manhole labels, and status (proposed, existing, future).	
Site Utility Profiles		
147	All vertical utility separations and cover dimensioned.	
148	Location of utility crossings shown and labeled on profile.	
149	Profile stationing and label at 25-ft intervals.	
150	Profile of all proposed public water mains included.	
151	Label length, slope, and material on all sewer pipe sections.	
152	Manhole labels, stationing, status, invert and top of casting elevations (horizontal callouts).	
153	Future and existing lines shown minimum 50' past proposed infrastructure.	
Utility Details		
154	Standard Drawings and details for all proposed utilities and accessories.	
155	Town Standard Details for all applicable water/sewer specifications.	
156	This sheet may also be used for applicable general notes and tables.	
Dry Utility Plan		
157	Provide a dry utility plan of all private utility locations including services such as power, gas and communication lines. This plan should be color coded using Miss Utility's color palette.	
Tree Preservation and Landscape Plan		
158	Name of firm or individual preparing the plan.	
159	Scaled rendering, using current information from the site development plan, which depicts existing and proposed grades. Existing information should be lightly shown in grayscale.	
160	Graphic legend depicting existing vegetation and proposed conditions.	
161	Location of all improvements shown on the site development plan.	
162	Location of all existing and proposed utilities and sewers.	
163	Location of all proposed sediment control devices.	

164	Graphic depiction of all existing trees including location, types, and size. All deciduous and evergreen trees of 4" diameter at breast height and greater and all multi-stemmed trees 8' in height or taller must be shown. All Town/public right-of-way trees of 1.5" caliper and greater must be shown.	
165	Graphic depiction of the accurate drip line canopy of all existing trees showing the extent of the critical root zone.	
166	Clear designation and tabulation of all existing trees to be saved or preserved, removed, or impacted as well as any additional tree plantings required to meet the 20% lot coverage requirement.	
167	Proposed tree protection and preservation measures for all saved and impacted trees depicting, if necessary, root-pruning lines, protective devices, and procedures, including but not limited to fencing, boring, aeration, temporary special paving areas, retaining walls, etc.	
168	All invasive plants and vines within tree-save areas shall be controlled and removed from trees. This shall be noted on a tree preservation sheet.	
169	Tree protection practices and new plantings shall be in compliance with Town of Vienna standards.	
170	Certification signed and sealed by a landscape architect licensed in the Commonwealth of Virginia or ISA-certified arborist.	
Lighting Plan		
171	Location, type, and height of all lighting fixtures (including street lights).	
172	Details on colors and materials for all lighting fixtures.	
173	Grid or photometric diagrams showing maximum illumination values at grade for off-site lighting and on- and off-site lighting. Light intensity is to be measured in footcandles. Footcandles shall be shown at least 50 feet past the proposed site. Show	
174	Clearly identified/labeled property lines.	